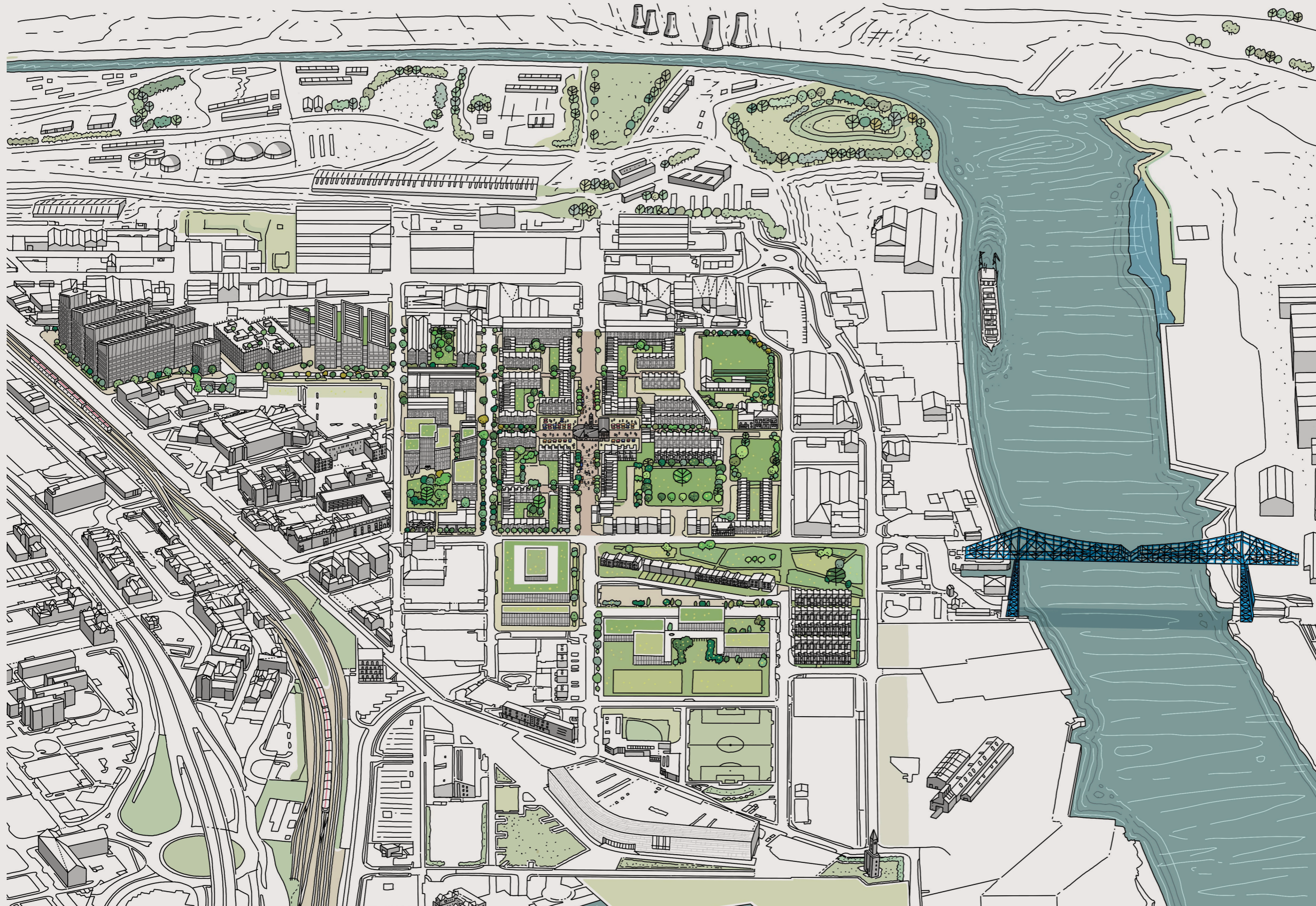


St. Hilda's + Middlesbrough Docks



Middlesbrough
moving forward

 **BCEGI**
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The Opportunity & Vision

Middlehaven: The Opportunity

Middlehaven benefits from many opportunities: a strategic and central location, strong catalysts and landmarks, a growing talent pool in digital and creative industries, and public land ownership. Despite these, development has been slow in coming forward due to a challenging delivery, including an underperforming economy and weak property markets. The regeneration of Middlehaven requires a coordinated approach to promote a new vision for Middlehaven that changes the image and perception of the area and builds confidence.

Strengths to leverage

Growing digital capabilities and start-up community

Middlesbrough is a growing digital and creative hub, specialising in gaming, app development and AR with most activity concentrated in the Boho zone. Teesside University are also a key player in the space, forging key partnerships with local businesses, with 650 companies to date. Supporting the growth of this cluster is a clear investment priority for the Council and the Combined Authority in the near-term and future.

Strong talent pool with STEM, Digital & Creative skills

Businesses locating in Middlehaven can benefit from the skills, research capability and support networks already established locally as well as access the talent pool generated by Teesside University and Middlesbrough College with over 30,000 students each year across STEM, digital and creative sectors.

Strategic and central location

Middlehaven is centrally located, directly adjacent to the train station which will have direct train links to London, and in walking distance to the wider town centre.

Heritage assets and landmarks

A wealth of local heritage buildings and impressive landmarks create a strong character; these include the Town Hall, Transporter Bridge, the Clock Tower and Middlesbrough Docks.

Opportunities to deliver value at scale



Scale and location of the development

A large and centrally-located site provides the opportunity to create a new urban neighbourhood with a mix of uses that can attract residents, occupiers, visitors and investors.



Catalysts for change

The Boho Zone, Middlesbrough College, the Town Hall and Middlesbrough Docks can create major new destinations in the area for residents, workers and visitors.



Strengthened commercial property offer

Provision of Grade A office space will be a key differentiator to attract and be competitive in meeting demands for modern businesses. This will encourage further growth of the digital and creative industry within the Boho cluster, but also start to attract occupiers from a range of sectors.



Creation of neighbourhoods

Delivering high quality housing alongside the creation of neighbourhoods with a sense of place and a local identity will help attract and retain economically-active households and in turn support economic growth.



Investment

Prioritisation of investment in critical areas - for example to support the growth of Boho - will enable Middlehaven to remain competitive in the future.

Middlehaven regeneration will deliver

With the active support of the local and combined authorities, Middlehaven has the scale, connectivity and assets to create its own unique identity and build a new quarter in Middlesbrough for business, residents and visitors.

Middlehaven will be a significant addition to the region's economy, helping drive sustainable and resilient socio-economic growth and prosperity across the region and beyond.

The Vision

Middlehaven is one of the most significant development opportunity sites in Middlesbrough, adjacent to the main transport hub. This site can become a new hybrid quarter, setting a new benchmark for progressive regeneration at scale.

Middlehaven will be a multi-faceted place combining high quality commercial and residential space with education, health and leisure facilities that invites a new urban community to live, work, play and thrive. It is a destination that showcases the essence of Middlesbrough and all it has to offer: life, heritage, culture, green space, waterside, industry and entrepreneurialism.

But Middlehaven is about much more than a mixed-use redevelopment. It is a symbol of reinvention – breathing new life into a historically important industrial site.

A business cluster driven by innovation and creativity

A community of successful, growing businesses, new start-ups and early stage firms in a unique campus environment, bringing the latest innovative thinking across gaming, digital tech, media, clean technology, advanced engineering, and creative sectors. Capitalising upon Boho as a seed-bed, and the University and College as valued partners and cultivators of future STEM talent, Middlehaven will establish its position as a leading digital and creative cluster both nationally and internationally.

An education quarter inspiring future generations

The Education Quarter is home to over 15,000 students, and houses science, digital, education and health spaces, including the £100m Middlesbrough College campus, the new Outwood Academy Riverside School, and The Bridge neurological centre. Leveraging the College as a major education provider of STEM, Health, Digital & Creative courses, and the James Cook University Hospital, this area presents an opportunity to transform and expand the area into a campus environment, attracting organisations within science, technology, education and health sectors.

A new urban residential neighbourhood

St Hilda's will be a forward-looking urban village built around people and community, offering diverse living options to attract families, first time buyers, professionals, couples and the older generation. It combines the modern, communal environment of town living with peace and tranquillity. The historic Town Hall and market square returns as a focal point of the neighbourhood, hosting food markets and public events & gatherings. Residents benefit from rich green, open spaces, whilst having easy access to a respected school and college, high quality leisure and social facilities.

A vibrant waterfront destination

With the large expanse of water and its aspired character, Middlesbrough Docks will provide an iconic leisure and entertainment attraction, enhancing Middlesbrough's status as a destination of regional and national importance. Opportunities include a multi-functional space to host events and exhibitions and a multi-sport centre, offering indoor and outdoor activities and events for a range of traditional, minority and emerging sports. The dockside also creates an opportunity for a new waterside residential community.

The Vision



~1000
new homes

Contemporary, urban, and diverse living options around the historic market square and by the waterside



600,000+ SQ FT
of next generation workspace

Modern, high-quality and sustainable industrial space and flexible creative workspace units fit for a new generation of businesses



TOWN HALL

A restored Old Town Hall hosting food markets, arts & crafts stalls, public events and gatherings



AMENITY OFFER

Retail, restaurant, convenience space and neighbourhood facilities



COMMUNITY SPACE

Featuring local community parks, play areas and an Urban Farm



EDUCATION

Middlesbrough College Campus and the new Outwood Academy Riverside School



LEISURE & RECREATION

Iconic leisure & entertainment destination by the dockside attracting local, regional and national visitors



SUSTAINABLE MOBILITY

Local transport links via direct trains to and from Middlesbrough Railway Station, and improved pedestrian and cycling routes, connecting Middlehaven to the town centre, regional cities and major UK cities

The Vision:

Middlehaven's Neighbourhoods & User Groups

Middlehaven will be formed by a number of neighbourhoods, each with a different function, purpose and identity, reflecting the character of these areas.



Middlehaven's Neighbourhoods

— Digital & Creative Hub

— Residential Neighbourhood

— Education Quarter

— Middlesbrough Docks

Each neighbourhood will have a different mix of uses and activations targeted specifically to the needs and aspirations of Middlehaven's key user groups. Our research has identified there would be a strong appeal to the following:



Young Professionals



Families With Children



Students



Visitors

Digital & Creative Hub

The Digital & Creative Hub hosts an array of uses to attract target tenants. Traditional office provisions are disrupted with flexible start-up spaces and incubator units as well as small workshop/maker spaces. Ground floors will accommodate a mix of independent cafes, bars, restaurants, and cultural establishments to enhance the vibrant atmosphere of the quarter. This is complemented by a range of living provisions to appeal to young urban professionals including conventional apartments but also loft living and live-work units.

Target Consumers



Young Professionals



Visitors

Use Types



Offices



Flex & Co-working Spaces



Incubator Spaces



Workshops and Maker Spaces



Apartments



Apartment-Hotel

Amenities



Amazon / Inpost Lockers



Bars & Restaurant



Coffee Shop



Grab & Go F&B



Gym Facilities



Green Areas



Convenience Store



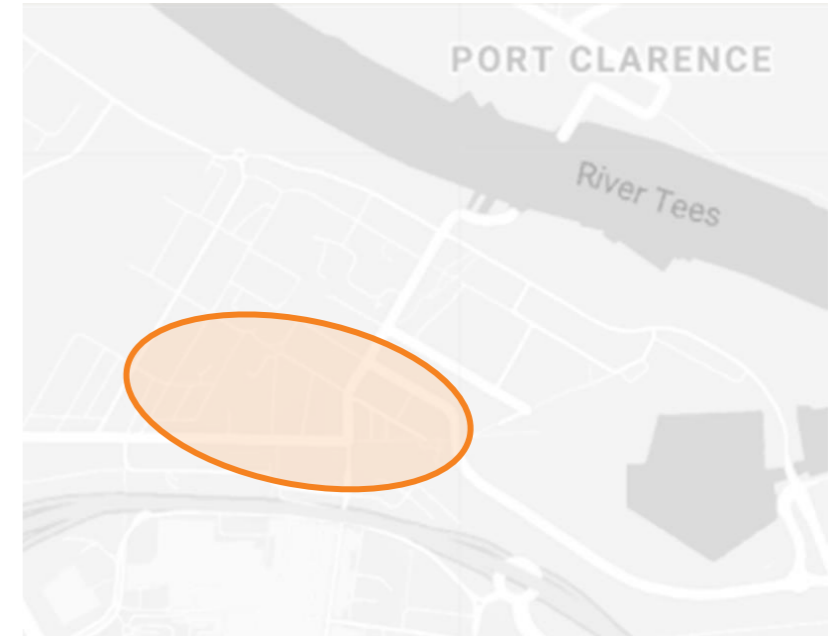
Mobility Hub



Bicycle Hire



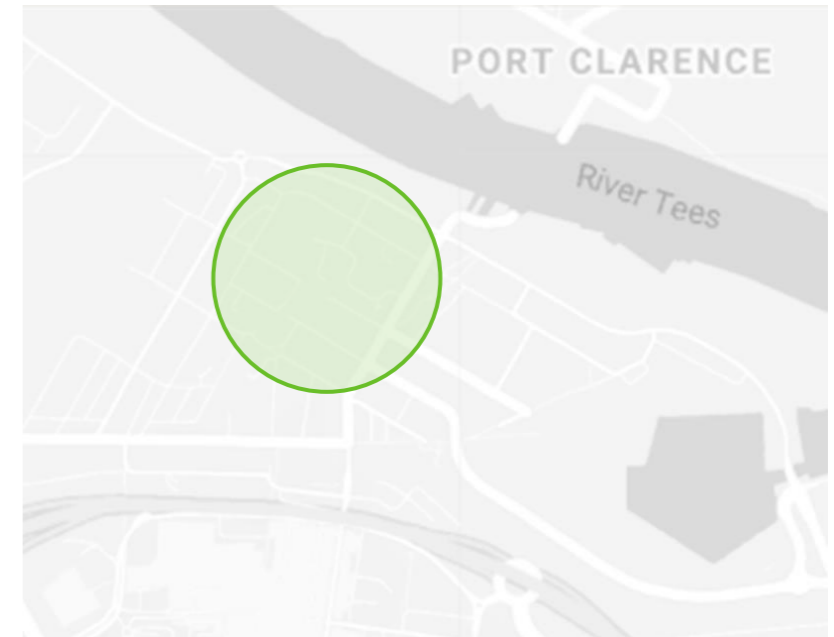
Bicycle Shop & Service



Digital & Creative Hub

St. Hilda's

A range of housing will be offered to the new resident community – from family housing to maisonettes and apartments. The Old Town Hall will be refurbished, opening up the market square to new modes of community functions and events such as markets, and other public gatherings. The neighbourhood will also accommodate ancillary facilities to benefit and incubate a new community, including local shops such as an artisan bakery or deli, eating & drinking establishments (The Captain Cook Pub), corner shop and a local sports/fitness studio. Residents will benefit from gardens, play areas, a high quality landscaped public realm, and other community spaces including the Urban Farm. The southern side of St. Hilda's will be more diverse with flexible live/work spaces, small workshops, studios, galleries and culture/art/exhibition spaces, providing a smooth transition into the Digital & Creative Hub.



Residential Neighbourhood

Target Consumers



Young Professionals



Families With Children

Use Types



Townhouses



Apartments



Independent Business Spaces

Amenities



Community Garden



Town Hall



Market Square



Urban Farm



Deli



Corner Shop



Café



Independent Bar & Restaurant



Independent Hair Salon



Independent Retail



Post Office



Pharmacy



Cycle Storage



Private Car Parking

Education Quarter

The Education Quarter brings together an array of educational institutions including a nursery, secondary school and Middlesbrough College to create a holistic and enriched educational journey from starting out in life to transitioning into the workplace. Additional education, science, health and community facilities add to the mix as well as provision of sports facilities, green spaces, and play areas that complement the 'campus' type feel of the quarter.

Target Consumers



Students



Young Professionals



Families With Children

Use Types



Education Establishments



Healthcare Establishments



Science / Health Research Centre



Townhouses

Amenities



Nursery / Primary School



Secondary School



College



Health Facility / GP



Coffee Shop



Green Areas



Children's Play Area



Communal Sports Facilities



Car Parking



Cycle Storage



Education Quarter

Middlesbrough Docks

The docks could be transformed into a destination in its own right, providing a key leisure attraction for the local community and local, national and international visitors. This could be in the form of an arena, hosting concerts, events and exhibitions or a multi-sport centre, offering indoor and outdoor activities and events for a range of traditional, minority and emerging sports. A 'Dock Loop' will be created for runners, connecting the entire Middlehaven development. At ground and first floor levels, the ancillary retail, commercial and amenity uses, will help encourage activity in and around the Docks. This location will be attractive for footloose engineering firms, government departments or other business seeking to build a base in the area, and for a new waterside residential community.

Target Consumers



Students



Young Professionals



Families With Children



Visitors

Use Types



Terraced houses



Apartments



Offices

Amenities



Dock View Point



Outdoor Gym



Leisure Attraction



Water Sports



Running Loop



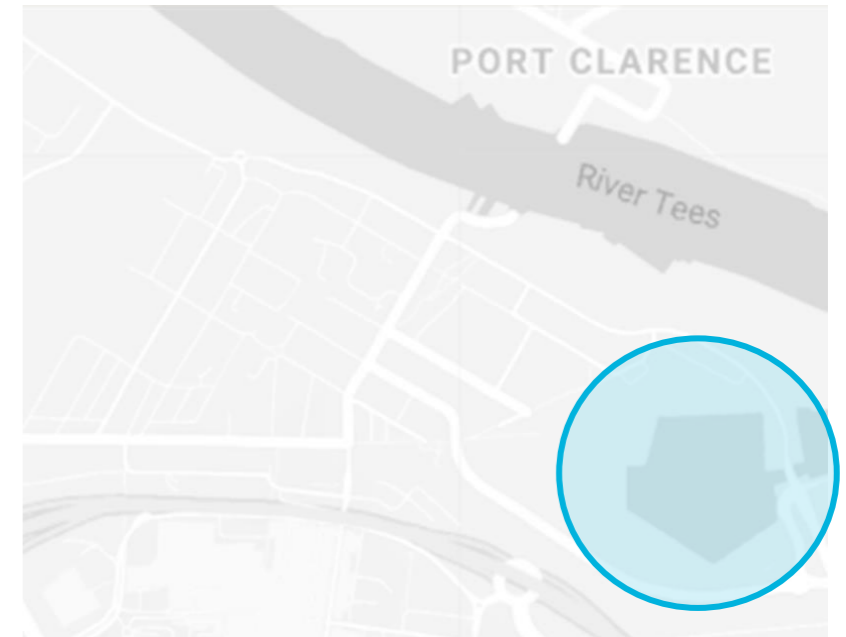
Coffee Shops



Restaurants & Bars (Outdoor Seating)



Conference / Event Space



Middlesbrough Docks

Principal Use Designations

Digital and Creative Industry
Up to 600,000sqft of creative workplace



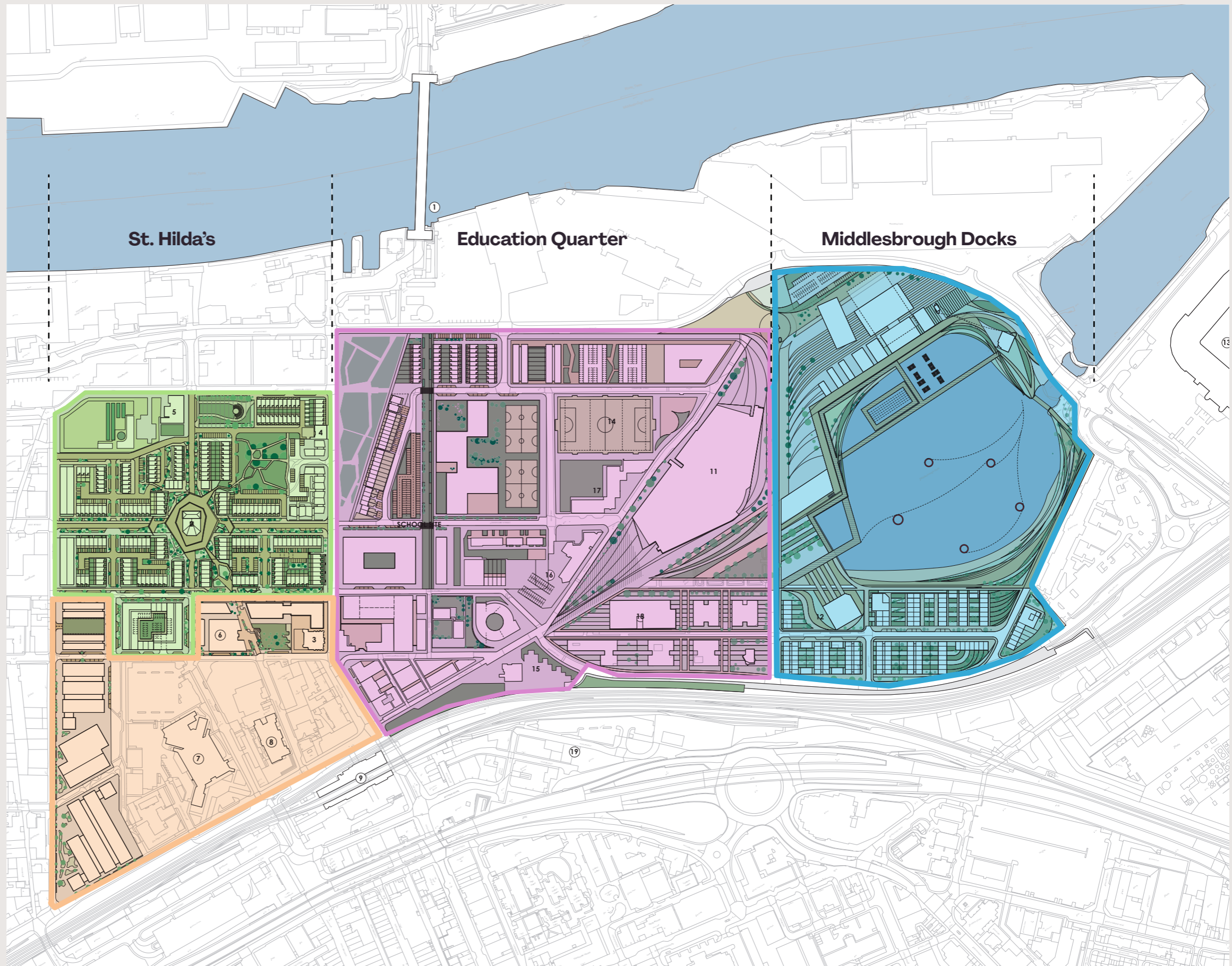
Residential
Contemporary living in a historic setting



Education Quarter
New school, nursery and sports facilities



Middlesbrough Docks
Lifestyle, waterside living and recreation




Middlesbrough
moving forward

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